



# Homed:In

18 Station Road, Southwater, RH13 9HQ



## Ivy Close

, Southwater, RH13 9EF

£495,000



# Ivy Close



## Description

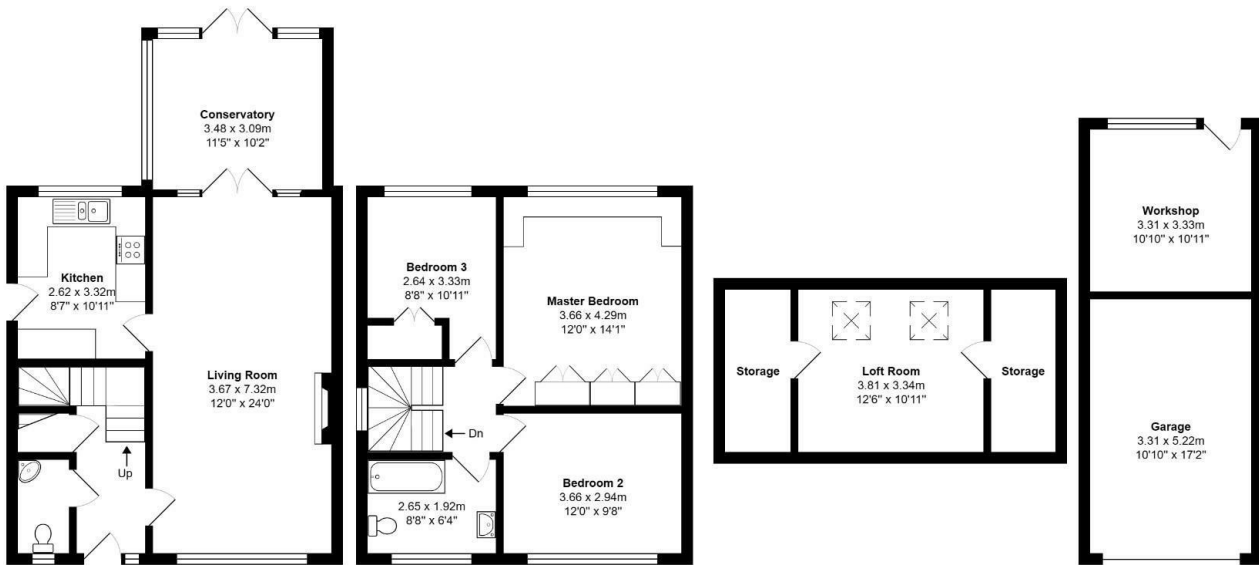
A Sizeable and Well Positioned Family Home in the Heart of Southwater

- Largest Property of Its Kind
- Bright Open Plan Living
- Loft Room
- Generous Sunny Gardens
- Garage and Driveway
- 3 Large Double Bedrooms
- Excellent Central Location
- A Must View Example, Enquire Today





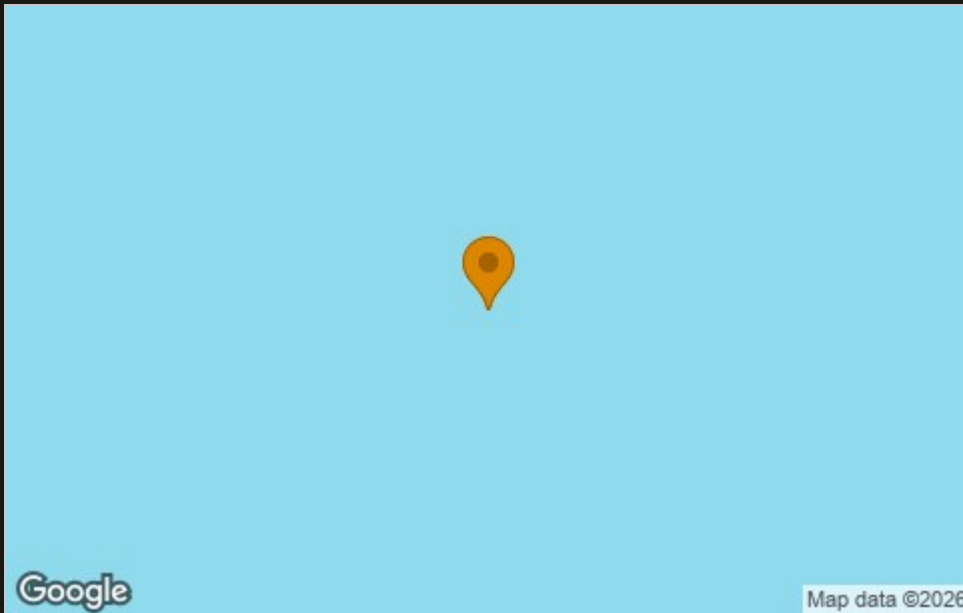
## Floor Plan



Total Area: 157.4 m<sup>2</sup> ... 1694 ft<sup>2</sup> (Incl Garage Workshop and loft)

All measurements are approximate and for display purposes only.  
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## Area Map



## Viewing

Please contact our Horsham Office on 01403 597595 if you wish to arrange a viewing appointment for this property or require further information.

## Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
<i>Very energy efficient - lower running costs</i>			
(92 plus) <b>A</b>			
(81-91) <b>B</b>			
(69-80) <b>C</b>			
(55-68) <b>D</b>			
(39-54) <b>E</b>			
(21-38) <b>F</b>			
(1-20) <b>G</b>			
<i>Not energy efficient - higher running costs</i>			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	
Environmental Impact (CO <sub>2</sub> ) Rating		Current	Potential
<i>Very environmentally friendly - lower CO<sub>2</sub> emissions</i>			
(92 plus) <b>A</b>			
(81-91) <b>B</b>			
(69-80) <b>C</b>			
(55-68) <b>D</b>			
(39-54) <b>E</b>			
(21-38) <b>F</b>			
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<i>Not environmentally friendly - higher CO<sub>2</sub> emissions</i>			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	

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